



ONE & TWO FAMILY RESIDENTIAL
CONSTRUCTION SITE REQUIREMENTS

CONSTRUCTION DOCUMENTS: Shall remain on site during the entire project.
1)PERMIT / PERMISSION TO WORK placard(s) must be displayed in a conspicuous place visible from the public street.

2)INSPECTION REPORTS shall be emailed to the designated individual only.

3)APPROVED "JOB COPY" PLANS stamped and signed shall remain on site the entire time of construction. Plans submitted electronically through the village portal shall be printed by the applicant and be retained on site for contractors and inspectors.

Failure to keep documents on site at all times may result in a failed inspection(s), a "STOP WORK" order being placed on the project, and/or citations being issued with possible fines. Having these documents on site helps all Village employees access scope of work for inspections and during emergency situations.

JOB SITE MAINTENANCE

- Signage is required to provide the address and contractor name and contact information.
Before you dig call J.U.L.I.E. @ 811.
Construction hours are 7:00am through 6:00pm (Municipal Code Article 16).
Address numbers shall be posted in the front and in the alley of the site (if applicable).
Trees shall be protected in the parkways; do not block sidewalks or alleyways.
Portable toilets shall be properly maintained a minimum of 10' from the lot line.
Construction fencing shall be required (8' around commercial sites).
Respect the neighboring properties; do not trespass on or damage neighboring properties.
Keep the site clean, safe, organized, and free from debris.
Maintain all guardrails, walkways, ladders, and stain in a safe condition.

COMPLETION & OCCUPANCY

Once the project is completed, all projects require a final inspection. A Certificate of Occupancy is often required for new construction and newly remodeled spaces.

IN EMERGENCY CALL:

Police / Fire @ 911
NICOR @ 888-642-6748
ComEd @888-344-7661
J.U.L.I.E. @ 811

ADOPTED VILLAGE OF OAK PARK CODES

In addition to the amendments posted online at www.oak-park.us, Oak Park has adopted the following codes:
International Residential Code - 2018 Edition
International Mechanical Code - 2018 Edition
National Electric Code - 2017 Edition
Illinois State Plumbing Code
International Fire Code - 2018 Edition
International Existing Building Code - 2018 Edition
International Fuel Gas Code - 2018 Edition
Other Codes to Consider
State of Illinois mandated Energy Code, International Energy Conservation Code 2018 Edition
State of Illinois mandated Plumbing Code
OSHA, FEMA, ADA, Cook County, State of Illinois, United States

Code books may be purchased by contacting the International Code Council, 800.214.4321 or www.intlcode.org
These codes are available for public free access online at https://codes.iccsafe.org/public/collections/I-Codes

TO SCHEDULE AN INSPECTION: CALL 708-358-5430 or email www.permits@oak-park.us

- In general, nothing should be concealed unless a passing inspection has been issued.
Inspections must be called for a minimum of 24 business hours in advance, although it is not guaranteed that an inspection time will be available in 24 hours.
For increased likelihood in getting an inspection on the day and time you want, call 3 business days before you want the inspection.
Please have your permit number(s) when phoning in for an inspection.

REQUIRED INSPECTION CHECKLIST

The Village of Oak Park requires the following inspections to pass prior to construction continuance.

NOTE: Additional inspections required by other village departments, such as Fire (708-358-5609), Health (708-358-5489), Engineering (708-358-8706, 07 or 08) or MWRD (708-588-4055) are not included in this list. It is the contractor's and/or owner's responsibility to assure they have obtained all the necessary inspections required by each department in proper sequence as related to the inspections listed below.

Table with 2 columns: Inspection Type and Description. Includes items like Pre-Demolition, Footing, Foundation, Plumbing, Electric, HVAC, Framing, Insulation, Drywall, Electric (Service), Plumbing (Service), Plumbing (Final), Electric (Final), HVAC (Final), Energy (Final), Building (Final) REQUIRED, and other inspections like Elevator, Health, PW - Forestry, PW - Engineering, and Building (Final).

NOTE: Additional special inspections or structural tests may also e required as per Chapter 17 of the International Building Code or the State of Illinois adopted Energy Code. Third party testing agencies may be required to be hired and paid for by the contractor/owner for such testing as, but not necessarily limited to, soil or concrete testing, welding, spray-applied fire-resistant materials, HVAC pressure balance and testing and infiltration blower door testing.

EGRESS

- All routes / hallways shall be a minimum of 36" wide.
All Bedrooms, Basements, Basement Living Spaces, and Basement Bedrooms shall have egress directly to the exterior grade by a door or egress window.

ELECTRICAL SERVICE GENERAL

- ALL ELECTRICAL ITEMS TO BE U.L. LISTED AND LABELED
The service panel, exterior electrical meter, disconnects shall have a 3'x3' working clearance.
Overhead wires and service drop in relation to openable windows and clearance. Must be a minimum of 5 feet away.
Overhead service drop clearances:
1.At the service entrance: 10 feet above the ground
2.Above roofs with a slope of less than 4 in 12: 8 feet
3.Above roofs with a slope of 4 in 12 or greater: 3 feet
4.Over residential property and residential driveways not subject to truck traffic: 12 feet
5.Over public streets, alleys, roads, and parking areas subject to truck traffic: 18 feet.
6.Service conductor clearance from operable windows, doors, porches, balconies, ladders, stairs, etc.: 3 feet

ELECTRICAL KITCHENS / BATHROOMS / BASEMENTS

- Provide GFCI outlets serving the countertop surfaces in kitchens.
Provide GFCI outlets in bathrooms, basements, garages, and outdoors.
Provide AFCI outlets at all locations inside residential buildings where GFCI outlets are not installed.
Provide minimum of two "circuit dedicated" 20A outlets serving the countertop surfaces in kitchens, and bathrooms.
Spacing of outlets
Kitchen countertops for each divided space between appliances or sinks: receptacle outlets shall be installed so that no point along the wall line is more than 24" measured horizontally from an outlet.
Island or peninsular countertops: minimum of one receptacle outlet for each space that is 24" long or longer.
Bathroom: minimum of one receptacle outlet within 26" of lavatory basin.
Other rooms, such as kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, sunrooms, bedrooms, recreation rooms, or similar: for every wall space that is 2 feet or more in width, receptacle outlets shall be installed so that no point along the wall line is more than 6 feet measured horizontally from an outlet.
Exterior outlets, garages, unfinished basements, are to have GFCI outlets.
Outdoors: minimum of one receptacle outlet accessible when standing at grade level not more than 6 1/2 feet above grade.
A minimum of one separate circuit is required for kitchen and bathrooms.
All receptacle outlets in dwelling units shall be tamper-resistant.

SMOKE ALARMS & CO DETECTORS.

- Provide a hardwired inner-connected smoke alarm(s)/CO detector on each floor, the common area, and a smoke alarm(s) in each bedroom.
Where wall coverings are removed from either one or both sides of an existing wall or floor/ceiling, existing wiring, receptacle spacing, smoke detectors and CO detectors shall be installed in conformance with current codes. Village code amendment to the International Code.

ENERGY

- Refer to the certificate from the design professional or follow the prescribed ratings on the following charts:

RESIDENTIAL:

Table with 3 columns: Climate Zone, U-factors (windows), and R-Factor. Rows include Fenestration, Skylights, Ceiling, Wood framed wall, Mass Wall, Floor, Basement Wall, Slab, and Crawlspace.

- "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
"15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
All HVAC ductwork shall be sealed
Fireplaces shall have tight fitting dampers
Heating water pipes or hot water pipes shall be wrapped
Ductwork shall be insulated in unconditioned spaces
New Homes require a "Blower Door Test"
Mass walls shall be in accordance with Section R402.2.5. The second R-value applies when more than half the insulation is on the interior of the mass wall.
Insulation certificates shall be posted in the attic and at the service panel.
Heating water pipes or hot water pipes shall be wrapped.
Ductwork shall be insulated in unconditioned spaces.
A MINIMUM of 90% of all lamps in permanently installed light fixtures shall be high efficiency lamps.
A permanent certificate, completed by the builder or design professional, shall be posted on a wall where the furnace or electrical service panel is located. The certificate shall list the predominant R-values of insulation throughout the house, ducts outside conditioned spaces, and U-factors for windows and skylights.

EXTERIOR SITE GRADING

- New principal residential buildings require detailed engineering drawings for storm water drainage.
Wood framed structures shall have a minimum of 6" of exposed concrete / masonry 4".
Grades shall conform to the natural slope of the neighborhood.
Grades shall not cause a nuisance.
Grades shall not cause ponding.
Grades shall not create icing or alga on Village property.
All sumps or Hub drains for receiving clear water waste shall extend two inches above the floor. All indirect clear water waste lines shall be above the floor level. Any floor drain which is level which is level with the floor shall discharge to a sanitary waste drain.

FRAMING

- Cuts, notches, and holes bored in trusses, laminated veneer lumber, glue-laminated members or I-joists are not permitted unless the effects of such are specifically addressed by a Registered Design Professional.
Exterior or load bearing walls with plates cut, drilled, or notched more than 50% of the width of the stud shall have a galvanized metal tie 16 gauge and 1 1/2 inches wide fastened to each plate.
Double top plate required at all walls.

GAS PIPING

- The gas meter shall be accessible.
All devices shall have accessible shut offs.
Provide a copy of the manufacturer's installation instructions for the permit file and site inspection.
Inspection required.

GLAZING

- Bathtub glazing shall be safety glazed / tempered glass.
Glazing at the staircase will be safety glazed.
Glazing at the door swing will be safety glazed.
Skylights shall be safety glazed.
See other requirements listed in the IRC.

STAIR REQUIREMENTS FOR 1-AND 2-FAMILY DWELLINGS

- Minimum stair width: 36"
Minimum tread width: 10"
Maximum riser height: 7 1/4"
Minimum landing width: same as stair width
Maximum height of a flight of stairs between a floor or landing: 12 feet
Minimum clear headroom above nosing: 6' 8"
Nosing's are required at each tread unless the tread depth is 11" or more
Nosing projection from riser: 1/4" to 1 1/4"
Handrails required on at least one side of a stair with 4 or more risers
Spacing of handrail from the wall: 1 1/2" (Maximum and Minimum)
Handrails shall return to the wall
Height of handrails: 34" to 38" above nosing
Extent of handrails: from a point directly above the top riser to a point directly above the bottom riser
Size of handrails
o Circular cross section: 1 1/4" diameter to 2" diameter
o Rectangular cross section: Perimeter of 4" to 6 1/4" with maximum dimension of 2 1/4"
Guards: required at landings and floor openings which are more than 30" higher than surface below
Height of guards above floor or landing: 36" minimum
Spacing of balusters in handrails and guards: sized as to not to allow passage of a 4" sphere between balusters and 6" sphere at the triangular opening formed by the tread, riser and bottom rail of a guard or handrail

HVAC

- Heating system: Provide equipment and distribution system capable of maintaining indoor temperature at 68 degrees F at -10 degrees F exterior.
Utilize ACCA Manuals S and J results to determine heating and cooling sizing.
A mechanical balance report shall be submitted, to the village, for approval prior to scheduling a final inspection.
Per Village Guidelines, HVAC, A/C & Exhaust shall not cause nuisances and shall be located:
Minimum of TEN (10) FEET from lot lines and openable windows;
Minimum of THREE (3) FEET from exterior walls and roofs.
Please verify on plans per VOP Guidelines, Kitchen & Bath exhaust shall not cause nuisances and shall be located:
Minimum of THREE (3) FEET from lot lines and openable windows;
Minimum of TEN (10) FEET from mechanical intakes.

MANUFACTURED ITEMS

- Any and all manufactured items must be rated for the use and installed per manufacturer's installation instructions.
Provide a copy of the manufacturer's installation instructions for the permit file and site inspection.

PLUMBING

- A Metropolitan Water Reclamation District Permit may be required, refer to the City Engineer.
Any project proposing a new plumbing fixture (one or more) shall complete a Village of Oak Park "Water Service Fixture Unit Calculation Worksheet" to assess the need to upgrade the water system. The required form is available on the Village's website and shall be submitted with all required documents.
The water meter shall be accessible and serviceable.
All devices shall have accessible shut offs.
Provide a copy of the manufacturer's installation instructions for the permit file and site inspection.



FIRE RATINGS OF EXTERIOR WALLS

- Please provide the fire-resistance rating of walls that fall into the categories below.
UL DESIGN: please provide UL design wall system details for all fire rated walls.

Table with 4 columns: EXTERIOR WALL ELEMENT, Fire resistance rated, MINIMUM FIRE RESISTANCE RATING, MINIMUM FIRE SEPARATION DISTANCE. Rows include Walls, Projections, Openings in walls, and Penetrations.

PUBLIC Right-of-Ways

- TREES (Parkway): Shall be protected by a fence a minimum of 10' away from any tree.
RESTORATION: Public sidewalks shall be restored within 3-7 days (weather permitting) from removal or temporarily backfilled with compacted limestone screenings.

RADON

- Provide passive radon control system in new 1- and 2-family dwellings.
Include the diagram from the EPA in the drawings.
https://www.epa.gov/sites/production/files/2014-08/documents/archdrow.pdf

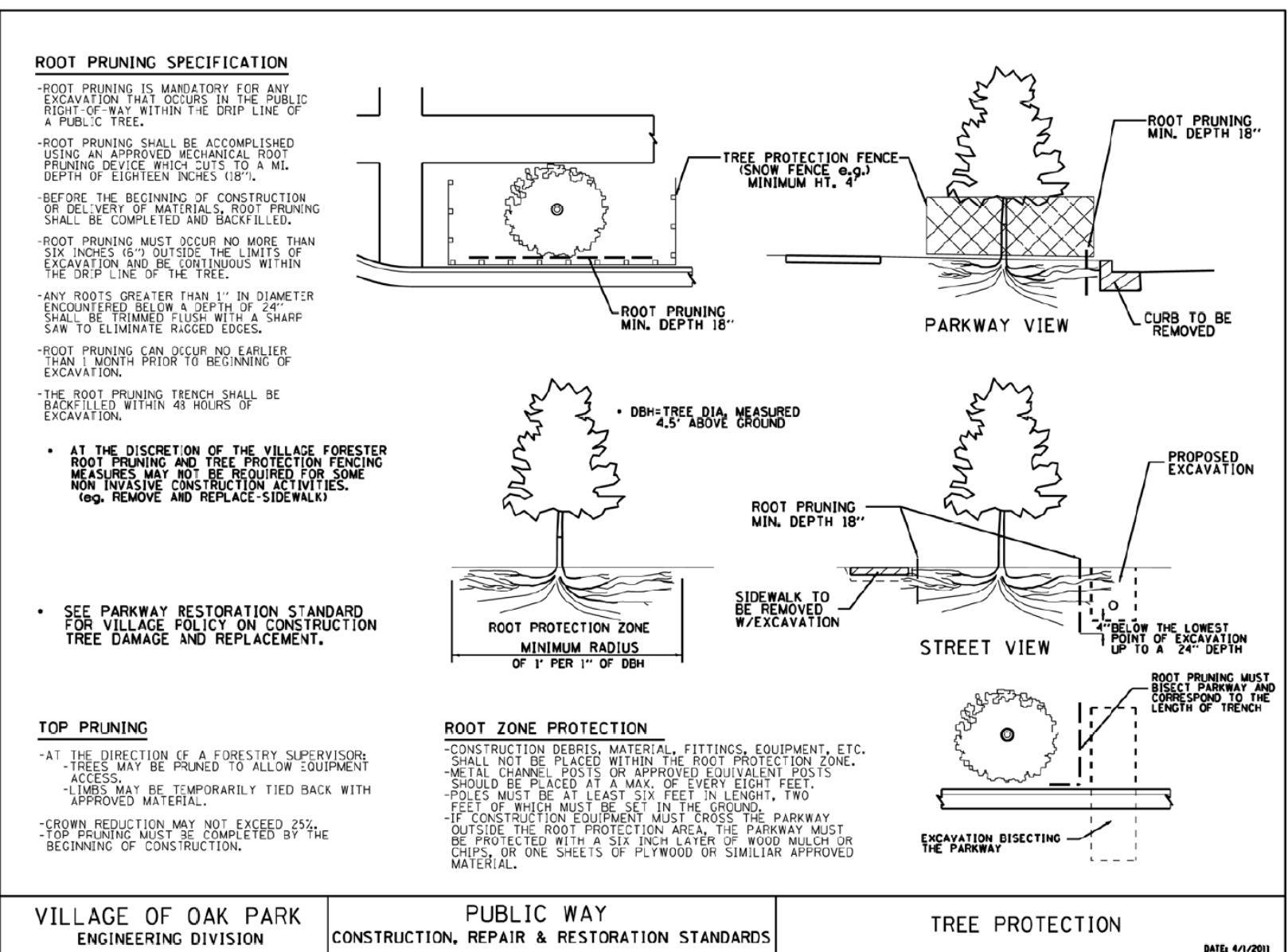
RESIDENTIAL SPRINKLERS

One- And Two-Family Dwellings Automatic Fire Systems. An automatic residential fire sprinkler system shall be installed in new construction of one- and two-family dwellings.
Exceptions:
An automatic residential fire sprinkler system shall not be required for additions or alterations to existing buildings that are not already provided with an automatic residential sprinkler system.
Existing one- and two-family dwellings where more than 50% of the habitable floor area above the foundation level is demolished and rebuilt shall be provided with an automatic fire sprinkler system throughout the dwelling.

FIRE BLOCKING / DRAFT STOPPING

- Fire blocking / Draft stopping shall be installed and be a maximum ten feet on center, horizontal and vertical.

Note: This guideline is not all inclusive of the related codes and laws that pertain to this construction refer to the actual code book for details. The permit process is a check and balance system that normally involves a designer, plans examiner, contractor, and inspector to ensure the best quality and safest construction possible. As much as the mentioned professionals attempt to achieve full code compliance every effort has been made to identify all code deficiencies, however, failure to identify a code deficiency during plan review and inspection does not alleviate any obligation to comply with all applicable code provisions.



VILLAGE OF OAK PARK ENGINEERING DIVISION CONSTRUCTION, REPAIR & RESTORATION STANDARDS TREE PROTECTION